

Application for Architectural Review Board

*** This application must be filled out completely and signed before submittals are placed on the ARB agenda.**

The purpose of Architectural Review Board shall be to two-fold; to develop architectural and design guidelines for the City of Ladue in accordance with section 110-70 and to apply those guidelines in reviewing projects within the City as to whether or not the project adheres to such guidelines.

APPLICANT INFORMATION

Name of Applicant: Kate & Jamison Stone

Phone #: 314-640-8022

Email address of Applicant (for review comments): KATHERINEANN.STONE@GMAIL.COM

PROJECT PROPERTY INFORMATION

Address for proposed work: 11001 Denny Lane or new 1732 Denny Ct.

Zoning District: residential Parcel ID # (St. Louis county record): 21510186

DESCRIPTION OF PROPOSED PROJECT: _____

Detached garage / guest house

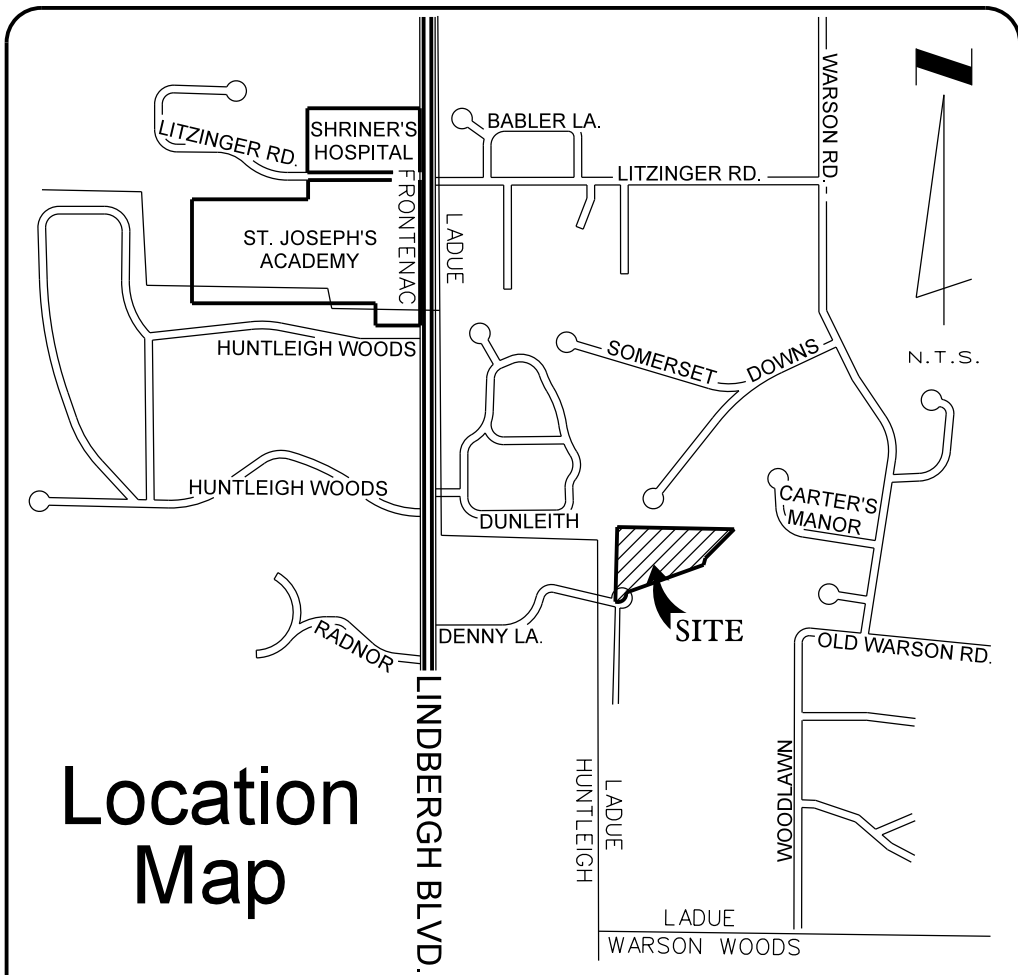
Additional Information:

- Professionally sealed plans are not required for ARB review.
- Plans for projects involving alterations and repairs, which do not affect the outward appearance of a building, and existing decks, fences, window replacements and roofing shingle replacements shall not require approval of the Architectural Review Board.
- Revised plans with any changes predicated by the ARB will need to be submitted with the building permit application to the Department of Planning and Development with final trustee approval (if applicable.)
- Projects approved by ARB should be submitted for building permits within 180 days or the ARB approval may become void.

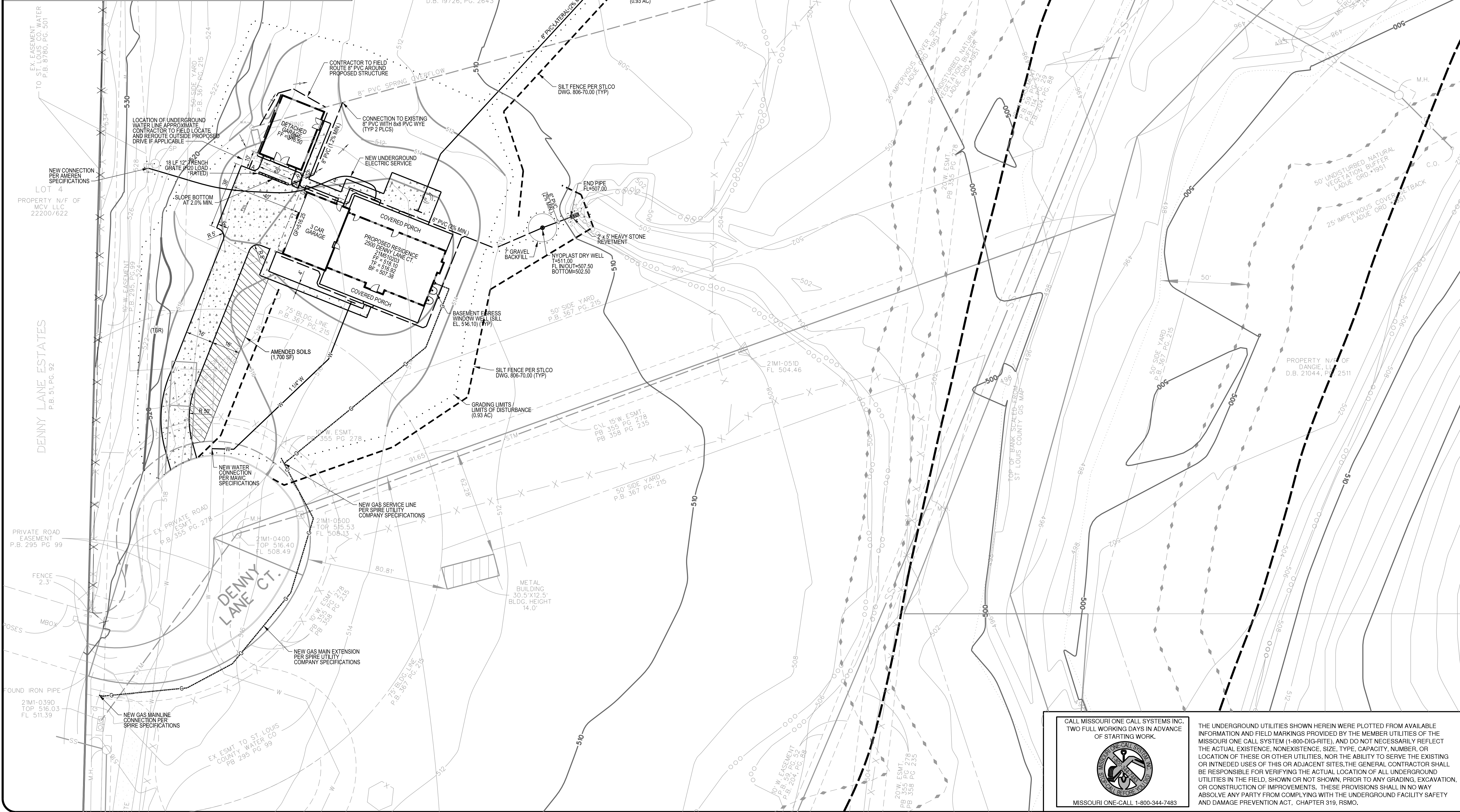
By signing this application, you acknowledge that by submitting an incomplete application, your petition will not be added to the meeting agenda.

X [Signature] Date: 2/24/2021

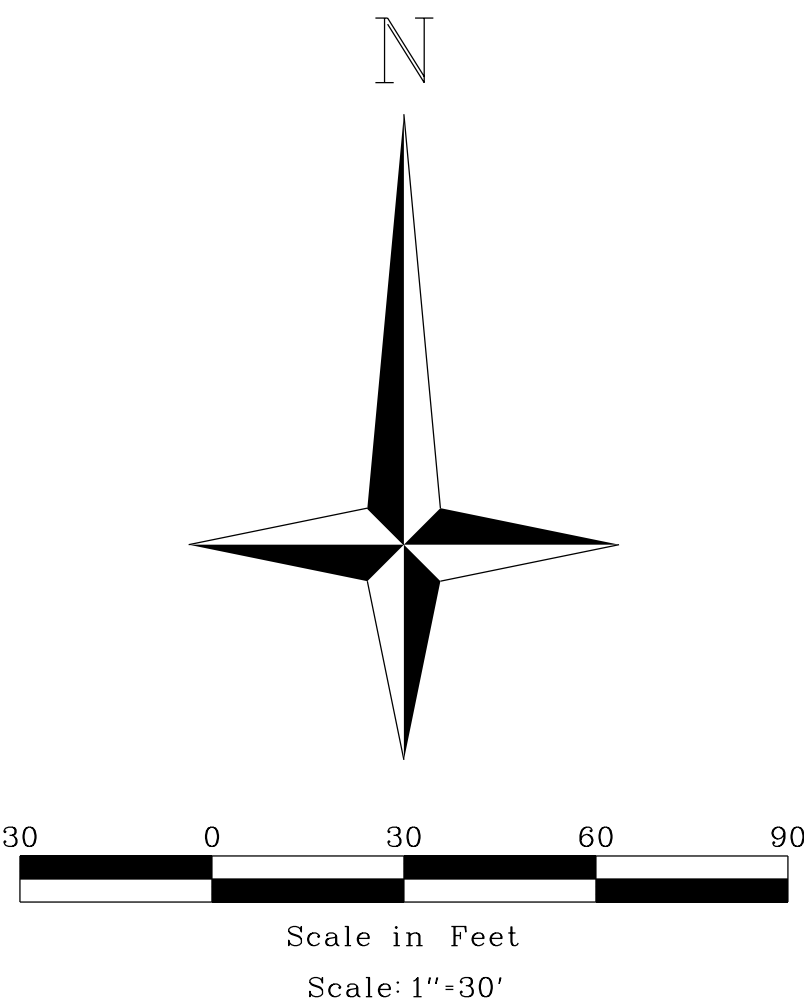
* This application and review for City of Ladue building permitted purposes only. Please be aware of any additional covenants and indentures which may be recorded with your subdivision.



WUNNENBERG'S MAP: PAGE 35, GRID S-22
ZIP CODE: 63124
MUNICIPALITY: LADUE, MISSOURI



- LEGEND
- AIR CONDITIONER UNIT
 - AREA INLET
 - CLEAN-OUT
 - CURB INLET
 - ELECTRIC METER
 - FINISHED FLOOR
 - GUY WIRE
 - LIGHT STANDARD
 - MANHOLE
 - POLY VINYL CHLORIDE
 - REINFORCED CONCRETE PIPE
 - SPRINKLER VALVE
 - UTILITY POLE
 - WATER METER
 - WATER VALVE
 - YARD LIGHT
 - GAS LINE
 - OVERHEAD UTILITIES
 - TELEPHONE LINE
 - UNDERGROUND ELECTRIC
 - WATER LINE
 - FENCE
 - (R) DENOTES RECORD DIMENSION
 - (S) DENOTES SURVEYED DIMENSION



STORMWATER RUNOFF	
DIFFERENTIAL CALCULATIONS	
TOTAL SITE AREA = 725,360 sf	
EXISTING	
PERVIOUS AREA	= 219,842 sf
PERVIOUS PERCENTAGE	= 93.0%
15YR-20MIN PI FACTOR	= 1.70
PERVIOUS FLOWRATE (Q)	= 8.58 cfs
IMPERVIOUS AREA	
IMPERVIOUS PERCENTAGE	= 2.4%
15YR-20MIN PI FACTOR	= 3.54
IMPERVIOUS FLOWRATE (Q)	= 0.45 cfs
FLOWRATE (Q)	
= 9.03 cfs	
PROPOSED	
PERVIOUS AREA	= 209,693 sf
PERVIOUS PERCENTAGE	= 93.0%
15YR-20MIN PI FACTOR	= 1.70
PERVIOUS FLOWRATE (Q)	= 8.18 cfs
IMPERVIOUS AREA	
IMPERVIOUS PERCENTAGE	= 7.0%
15YR-20MIN PI FACTOR	= 3.54
IMPERVIOUS FLOWRATE (Q)	= 1.27 cfs
FLOWRATE (Q)	
= 9.45 cfs	
DIFFERENTIAL FLOWRATE	
PROP Q - EX Q =	0.42 cfs < 2 cfs
Q _c Not Required	

EXISTING IMPERVIOUS COVERAGE - LOT	
TOTAL LOT AREA	225,360 SF
HOUSE / GARAGE / SHED	235 SF
DRIVE / WALK / PATIO	5,283 SF
TOTAL IMPERVIOUS AREA	5,518 SF
IMPERVIOUS COVERAGE	2.4 %

PROPOSED IMPERVIOUS COVERAGE - LOT	
TOTAL LOT AREA	225,360 SF
HOUSE / GARAGE / PUMP HOUSE	5,196 SF
DRIVE / WALK / PATIO	10,471 SF
TOTAL IMPERVIOUS AREA	15,667 SF
IMPERVIOUS COVERAGE	7.0 %
*AT ALLOWED COVERAGE	80.0 %

GREENSPACE CALCULATIONS	
TOTAL LOT AREA	225,360 SF
GREENSPACE	209,693 SF
TOTAL GREENSPACE AREA	209,693 SF
GREENSPACE	93.0 %
MINIMUM REQ'D GREENSPACE	80.0 %

LAND DISTURBANCE = 40,633 SF = 0.93 AC

- GENERAL NOTES:
- GENERAL CONTRACTOR TO VERIFY STORM AND SANITARY SEWER LOCATION AND ELEVATIONS PRIOR TO START OF CONSTRUCTION.
 - ALL STORM AND SANITARY SEWER STRUCTURES AND APPURTENANCES TO BE DEDICATED TO MSD, OR TO BE PRIVATE UNDER MSD INSPECTION, SHALL CONFORM TO THE METROPOLITAN SEWER DISTRICT STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWER AND DRAINAGE FACILITIES, 2008, THAT WILL INCLUDE STANDARD DETAILS SHOWN THEREIN, AND SHALL INCLUDE ALL SUBSEQUENT CHANGES MADE THERE TO.
 - ALL UTILITY CONNECTIONS TO BE PER UTILITY AGENCY SPECIFICATIONS.
 - CONTRACTOR TO INSTALL EROSION CONTROL BMPs PRIOR TO THE START OF CONSTRUCTION.
 - ALL SILT FENCE AND EROSION CONTROL SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE AND PERMANENT VEGETATION HAS BEEN ESTABLISHED.
 - CONTRACTOR SHALL PROTECT NEIGHBORING PROPERTIES AND STREET FROM SILT.
 - CONTRACTOR TO KEEP ALL STREETS AND SIDEWALKS CLEAN OF DEBRIS AND SILT.
 - ALL DISTURBED AREAS SHALL BE RESTORED AS SOON AS PRACTICAL. LAWN AREAS SHALL BE SOODED.
 - CONTRACTOR IS RESPONSIBLE TO SECURE ALL NECESSARY APPROVALS PRIOR TO THE START OF CONSTRUCTION OPERATIONS.
 - CONSULT SOILS ENGINEER FOR SOIL COMPACTION RECOMMENDATIONS.
 - ALL GRADES SHALL BE WITHIN 0.2 FEET, PLUS OR MINUS, OF THOSE SHOWN ON THE GRADING PLAN.
 - NO SLOPE SHALL BE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL UNLESS APPROVED BY SOILS ENGINEER.
 - CONTRACTOR IS RESPONSIBLE FOR MONITORING GRADING OPERATION AND ACCURACY OF FINAL ROUGH GRADES.
 - EXTERIOR FINISHED GRADE ELEVATIONS SHALL BE A MINIMUM OF 8" BELOW THE TOP OF FOUNDATION.
 - CONTRACTOR IS TO REMOVE AND DISPOSE OF (OFF SITE) ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
 - CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE AND SHALL TAKE PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THIS CONSTRUCTION AND ITS ACTIVITIES.
 - NO CONSTRUCTION EQUIPMENT OR MATERIALS ARE TO BE TRANSPORTED OR STORED UNDER THE DRAINAGE OF STREET TREES.
 - CONTRACTOR SHALL COORDINATE THE DISCONNECTION, SEALING, AND/OR REMOVAL OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
 - PAYMENT TO BE CONSTRUCTED PER THE CITY OF LADUE SPECIFICATIONS.
 - ALL WORK IN OR ACROSS THE RIGHT-OF-WAY WILL REQUIRE A PERMIT ISSUED BY THE CITY OF LADUE PUBLIC WORKS DEPARTMENT.
 - ANY UTILITY CUTS THE RIGHT-OF-WAY FOR CONNECTING SERVICES SHALL BE RESTORED PER RIGHT-OF-WAY PERMIT.
 - REFER TO ARCHITECTURAL PLAN FOR ADDITIONAL LAYOUT, GRADING AND SITE DESIGN INFORMATION. WHEN CIVIL ENGINEERING AND ARCHITECTURAL DRAWINGS CONFLICT, THE ARCHITECTURAL SHALL GOVERN. NOTIFY ARCHITECT OF ANY SUCH CONFLICTS PRIOR TO PROCEEDING WITH THE WORK.



CALL MISSOURI ONE CALL SYSTEMS INC.
TWO FULL WORKING DAYS IN ADVANCE
OF STARTING WORK.

THE UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND FIELD MARKINGS PROVIDED BY THE MEMBER UTILITIES OF THE MISSOURI ONE CALL SYSTEM (1-800-DIG-RI-TE), AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, CAPACITY, NUMBER, OR LOCATION OF THESE OR OTHER UTILITIES, NOR THE ABILITY TO SERVE THE EXISTING OR INTENDED USES OF THIS OR ADJACENT SITES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES IN THE FIELD, SHOWN OR NOT SHOWN, PRIOR TO ANY GRADING, EXCAVATION, OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMO.

SITE & GRADING PLAN

Base Map No. 21M
MSD RECORD # XMSD-00446
Project # 21850-05

Design By: RLH
Drawn By: RLH
Checked By: RLH

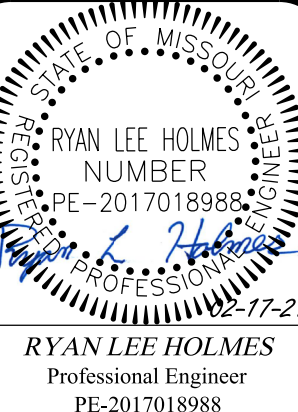
02-17-21
C-1

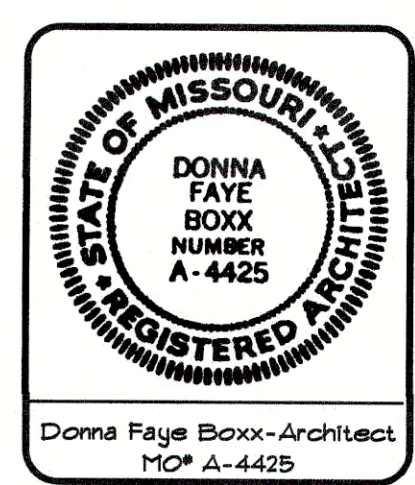
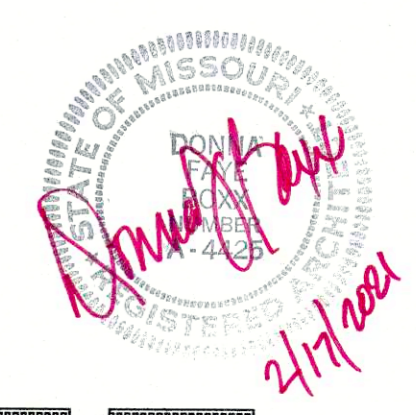
STONE RESIDENCE

2500 DENNY LANE CT.
LADUE, MO 63124

JAMISON & KATE STONE
806 E. ESSEX AVE.
ST. LOUIS, MO 63122
JAMISON: (314) 208-6855
KATE: (314) 540-8022
jamison.s@stonecapital.com

ENGINEERS
LAND PLANNING
LAND SURVEYING
TRANSPORTATION
CONSTRUCTION MANAGEMENT
RYAN LEE HOLMES
NUMBER
PE-2017018988
314-426-0212 Main
10848 Indian Head Indl. Blvd.
St. Louis, Missouri 63132
www.volzinc.com
Authority #203





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St. Louis, Missouri 63146
(314) 434-2333
FAX (314) 434-2203
www.boxxarchitect.com

PROPOSED GUEST HOUSE FOR:
JAMISON and KATE STONE
LOT 4 DENNY LANE COURT
LADUE, MISSOURI 63124

COVER SHEET

DATE: 12-14-2020
JOB: 2019-23
REV. 1
REV. 2
REV. 3
SHEET: **C0-1**
1 OF 1 SHEETS

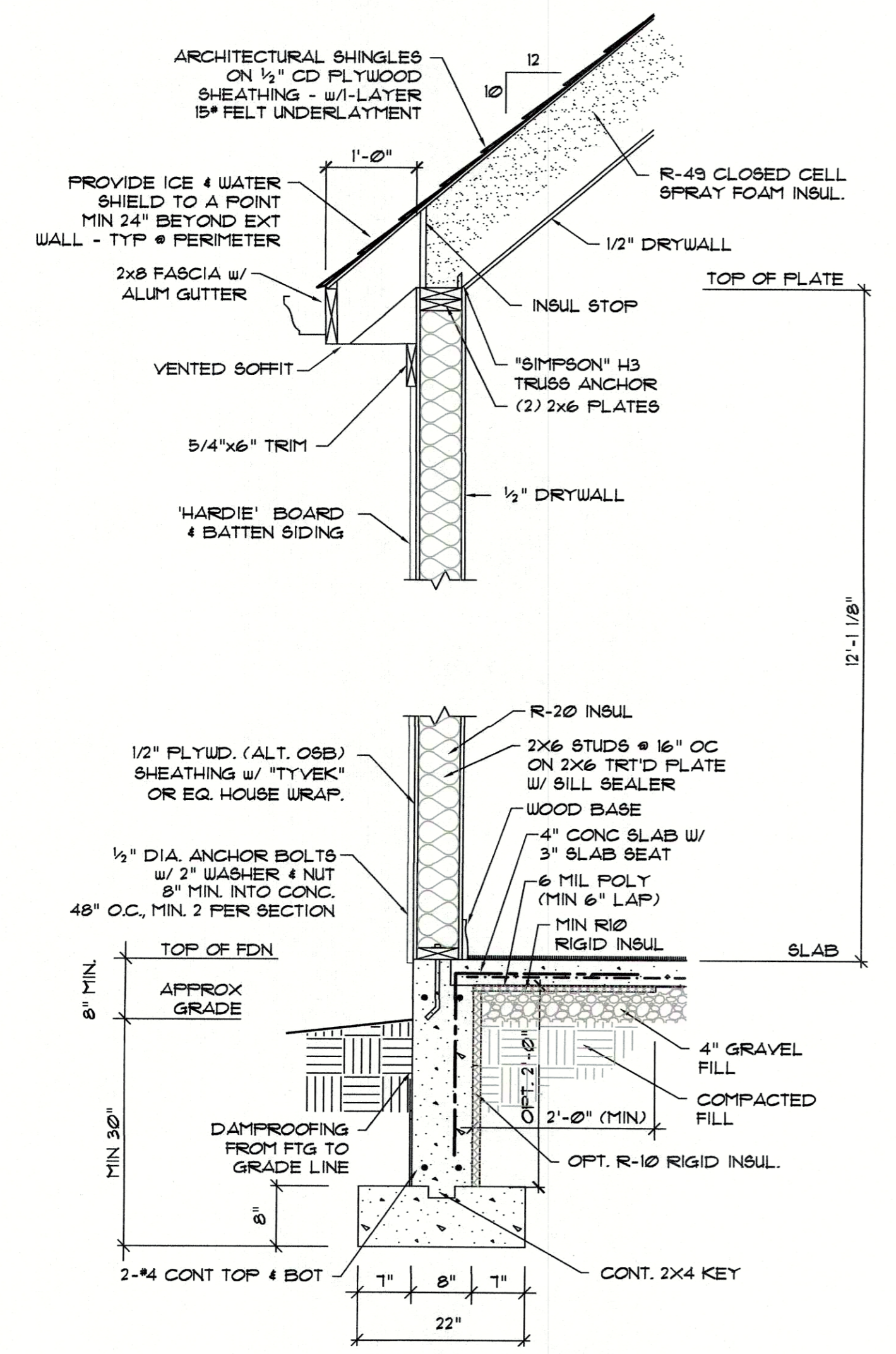
PROPOSED GUEST HOUSE FOR:

JAMISON and KATE STONE

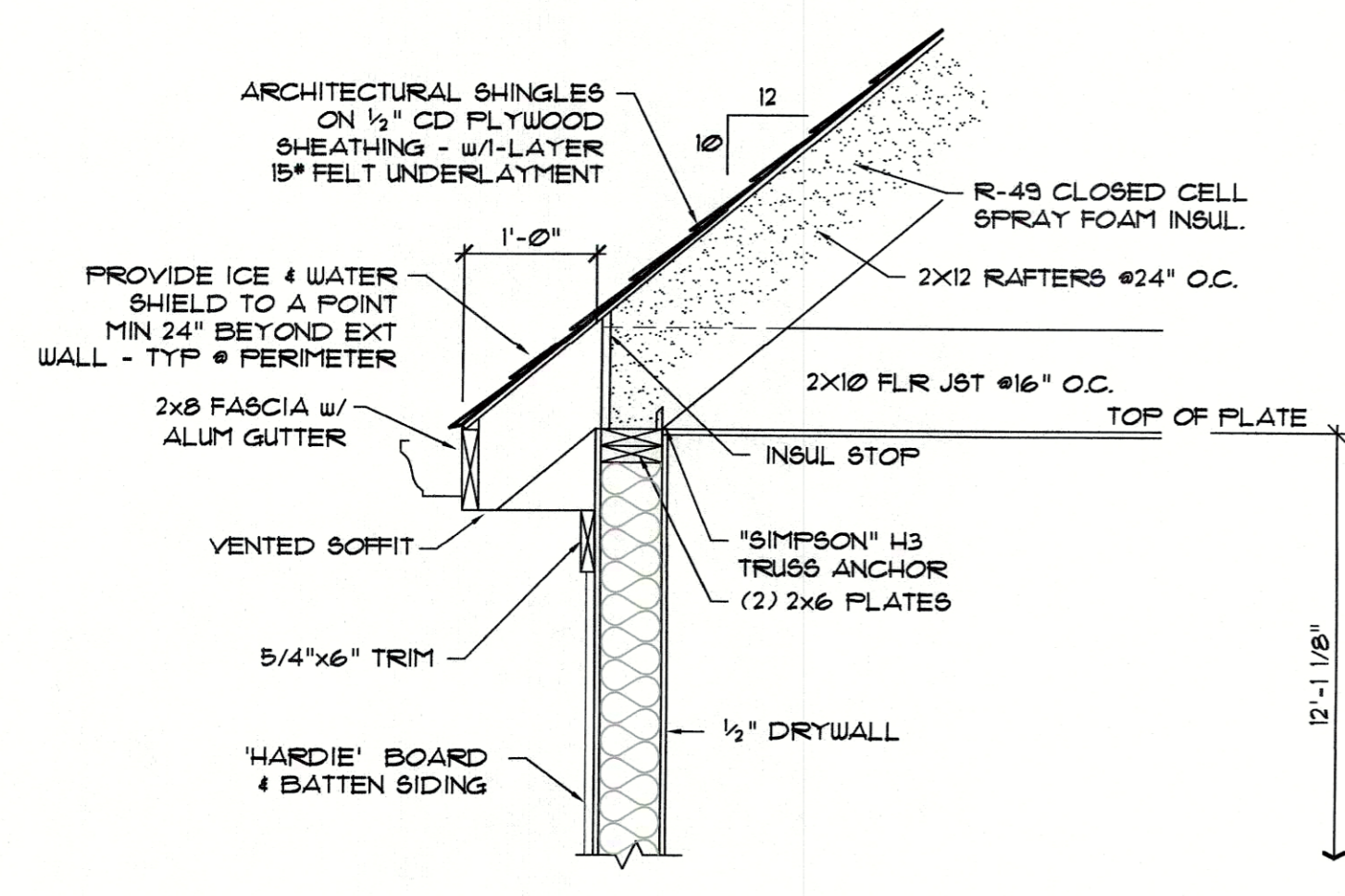
LOT 4 DENNY LANE COURT LADUE, MISSOURI 63124

ARCHITECT
DONNA F. BOXX, ARCHITECT, P.C.
160 MARINE LANE
ST. LOUIS, MISSOURI 63146
(314) 434-2333

CONSULTING ENGINEER
KREHER ENGINEERING, INC.
208 NORTH MAIN STREET, SUITE F
COLUMBIA, ILLINOIS 62298
(314) 753-5965



1 TYPICAL WALL SECTION
CO-1
3/4" = 1'-0"



2 WALL SECTION @ 2ND FLOOR
CO-1
3/4" = 1'-0"

ABBREVIATIONS

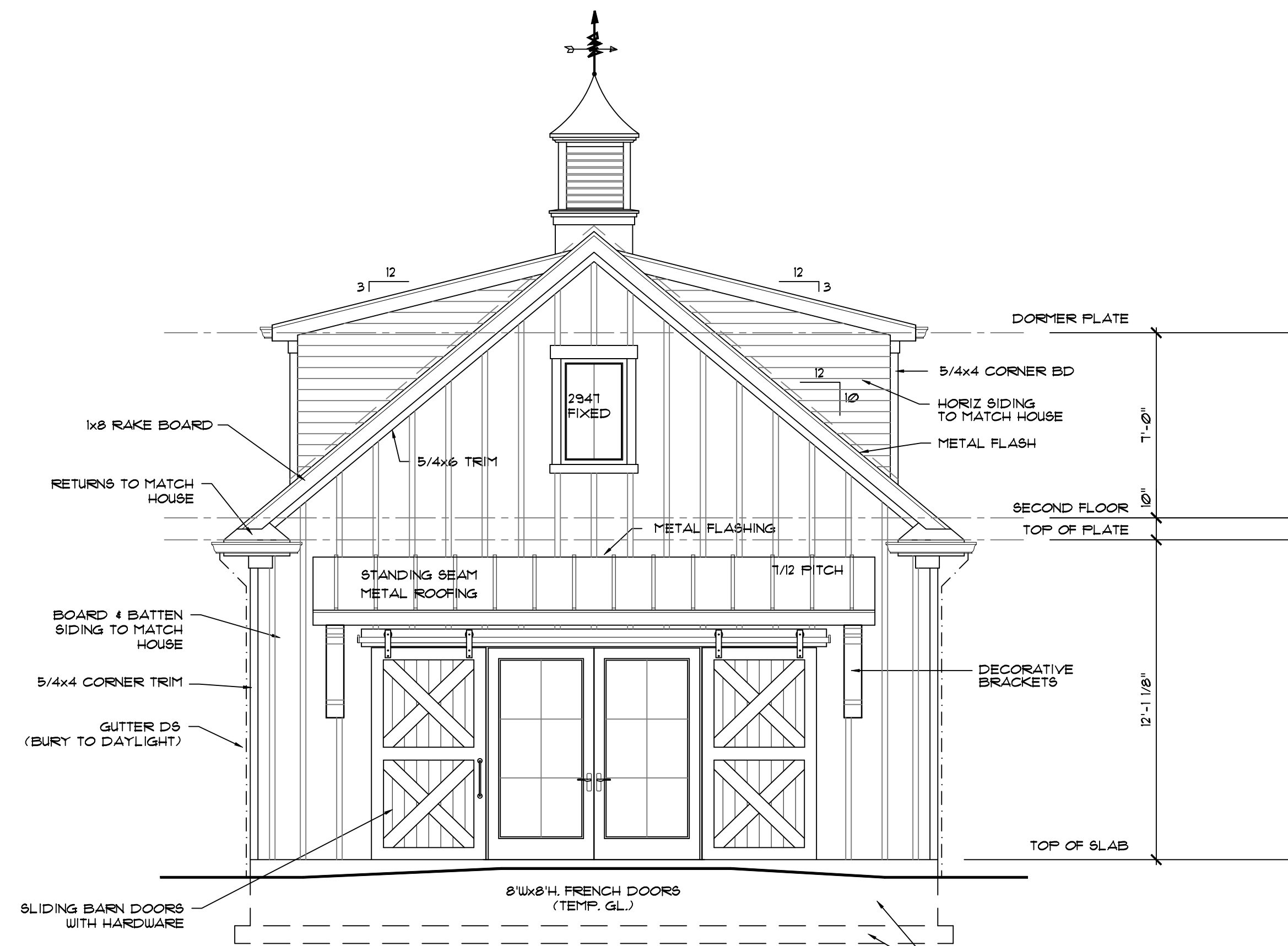
AND	ENCLOSURE	N.I.C.	NOT IN CONTRACT
ANGLE	EQUIP.	N.T.S.	NOT TO SCALE
AREA	ELECTRIC WATER COOLER		
CENTERLINE	E.P.		
DIAMETER OF ROUND	EXIST.		
PLUS OR MINUS	EXP.		
PROPERTY LINE	EXT.		
ACOUST.	ACOUSTICAL		
A.C.T.	ACCESS PANEL		
A.D.	AREA DRAIN		
ADJ.	ADJUSTABLE		
AGGR.	AGGREGATE		
ALUM.	ALUMINUM		
AND.	AND		
APPROX.	APPROXIMATE		
ARCH.	ARCHITECTURAL		
ASB.	ASBESTOS		
ASPH.	ASPHALT		
A.J.F.	ABOVE FINISH FLOOR		
BD.	BOARD		
BTUM.	BITUMINOUS		
BLOC.	BLOCK		
BLK.	BLOCK		
BLKG.	BLOCKING		
BM.	BEAM		
BOT.	BOTTOM		
B.U.R.	BUILT-UP ROOFING		
CAB.	CABINET		
C.B.	CATCH BASIN		
CEM.	CEMENT		
CER.	CERAMIC		
C.I.	CAST IRON		
C.L.G.	CEILING		
CLG.	CEILING		
CLD.	CLOSET		
CLR.	CLEAR		
C.O.	CASED OPENING		
COL.	COLUMN		
CONC.	CONCRETE		
CONN.	CONNECTION		
CONSTR.	CONSTRUCTION		
CONT.	CONTINUOUS		
CORR.	CORRIDOR		
CNTR.	COUNTER		
CIN.	CENTER		
C.M.U.	CONCRETE MASONRY UNIT		
DBL.	DOUBLE		
DEPT.	DEPARTMENT		
D.F.	DRINKING FOUNTAIN		
DET.	DETAIL		
DIA.	DIAMETER		
DM.	DIMENSION		
DISP.	DISPENSER		
DN.	DOWN		
DR.	DOOR		
DWR.	DRAWER		
D.S.	DOWNSPUT		
DRWS.	DRAWING		
E.A.	EACH		
EL.	ELEVATION		
ELEC.	ELECTRICAL		
ELEV.	ELEVATOR		
EMER.	EMERGENCY		
ENCL.	ENCLOSURE		
EQ.	EQUIPMENT		
E.W.C.	ELECTRIC WATER COOLER		
E.P.	ELECTRIC PANELBOARD		
EXIST.	EXISTING		
EXP.	EXPOSURE		
EXT.	EXTERIOR		
F.D.	FLOOR DRAIN		
FIN.	FOUNDATION		
F.E.	FIRE EXTINGUISHER		
F.E.C.	FIRE EXTINGUISHER CABINET		
FIN.	FINISH		
FL.	FLOOR		
FLASH.	FLASHING		
FLUOR.	FLUORESCENT		
F.O.C.	FACE OF CONCRETE		
F.O.S.	FACE OF STUDS		
FRF.	FIREPROOF		
FT.	FOOT or FEET		
FTG.	FOOTING		
FUR.	FURRING		
FUT.	FUTURE		
GA.	GAUGE		
GALV.	GALVANIZED		
GL.	GLASS		
GYP.	GYPSON		
H.B.	HOSE BIBB		
H.C.	HOLLOW CORE		
H.M.	HOLLOW METAL		
HORIZ.	HORIZONTAL		
HR.	HOUR		
HT.	HEIGHT		
I.D.	INSIDE DIAMETER		
INSUL.	INSULATION		
INT.	INTERIOR		
JAN.	JANITOR		
JT.	JOINT		
KIT.	KITCHEN		
LAB.	LABORATORY		
LAM.	LAMINATE		
LAV.	LAVATORY		
LKR.	LOCKER		
L.V.	LONG LEG VERTICAL		
LT.	LIGHT		
MATL.	MATERIAL		
MAX.	MAXIMUM		
M.C.	MEDICINE CABINET		
MCH.	MECHANICAL		
MET.	METAL		
MFR.	MANUFACTURER		
M.H.	MANHOLE		
MIR.	MIRROR		
MISC.	MISCELLANEOUS		
M.O.	MASONRY OPENING		
M.S.K.	MOP SINK		
M.T.D.	MOUNTED		
MUL.	MULLION		
N.I.C.	NOT IN CONTRACT		
N.T.S.	NOT TO SCALE		
O.A.	OVERALL		
O.C.	ON CENTER		
O.D.	OUTSIDE DIAMETER		
OFF.	OFFICE		
OPNG.	OPENING		
OPP.	OPPOSITE		
PL.	PLATE		
PLAM.	PLASTIC LAMINATE		
PLAS.	PLASTER		
PLYWD.	PLYWOOD		
PR.	PAIR		
PART.	PARTITION		
Q.T.	QUARRY TILE		
R.	RISER		
RAD.	RADIUS		
R.D.	ROOF DRAIN		
REF.	REFRIGERATOR		
REINF.	REINFORCED		
REQD.	REQUIRED		
RESIL.	RESILIENT		
RM.	ROOM		
R.O.	ROUGH OPENING		
S.C.	SOLID CORE		
SCHED.	SCHEDULE		
SECT.	SECTION		
SHT.	SHEET		
SIM.	SIMILAR		
SQ.	SQUARE		
S.S.	STAINLESS STEEL		
S.S.K.	SERVICE SINK		
STA.	STATION		
STD.	STANDARD		
STL.	STEEL		
STOR.	STORAGE		
STRUCT.	STRUCTURAL		
SUSP.	SUSPENDED		
SYN.	SYMMETRICAL		
T.	TREAD		
T.C.	TOP OF CURB		
TEL.	TELEPHONE		
T.G.	TONGUE AND GROOVE		
T.P.	TOP OF PAVEMENT		
T.W.	TOP OF WALL		
TYP.	TYPICAL		
T.O.C.	TOP OF CONCRETE		
UNF.	UNFINISHED		
UNO.	UNLESS NOTED OTHERWISE		
VERT.	VERTICAL		
VEST.	VESTIBULE		
W/	WITH		
WO.	WOOD		
W/O	WITHOUT		
WP.	WATERPROOF		
WT.	WEIGHT		

APPLICABLE CODES

2015 INTERNATIONAL RESIDENTIAL CODE
AS ADOPTED & AMENDED BY THE CITY OF
LADUE, MISSOURI

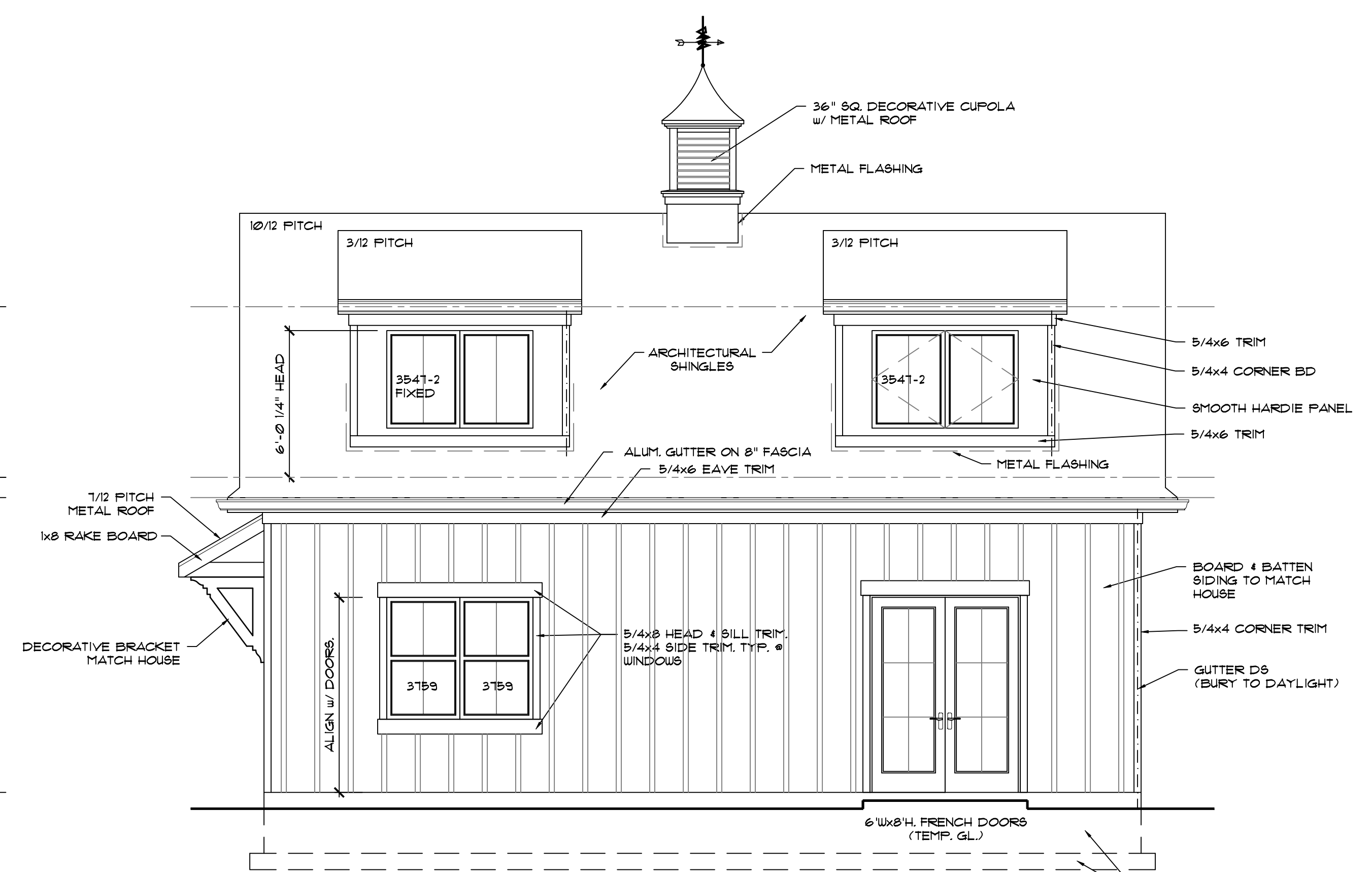
LIST OF DRAWINGS

- CO-1 COVER SHEET
- GN-1 GENERAL NOTES
- A-1 GUEST HOUSE PLANS
- A-2 GUEST HOUSE FRAMING PLANS
- A-3 GUEST HOUSE ELEVATIONS
- A-4 BUILDING SECTIONS
- E-1 ELECTRIC PLANS



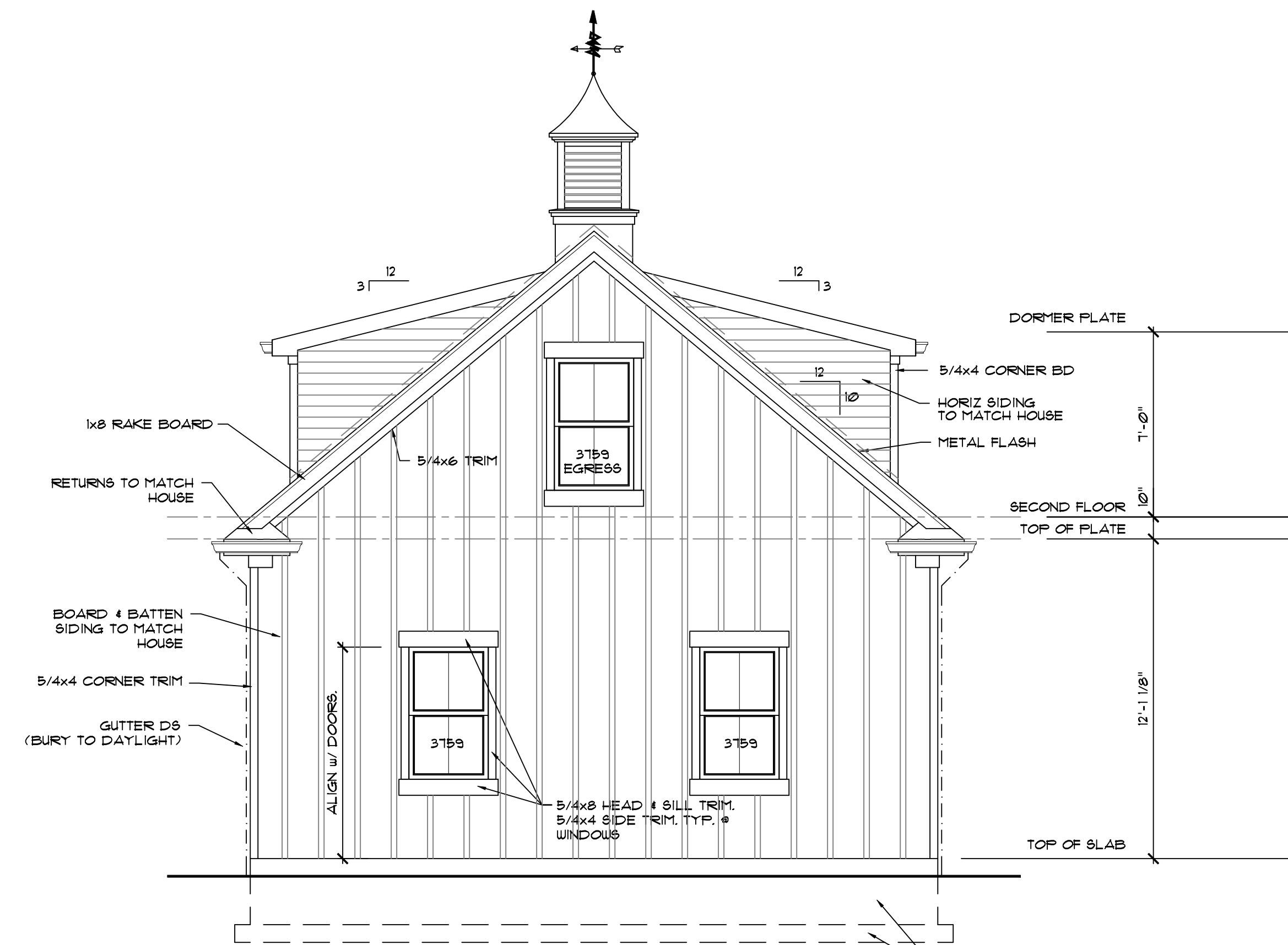
FRONT ELEVATION

1/4" = 1'-0"



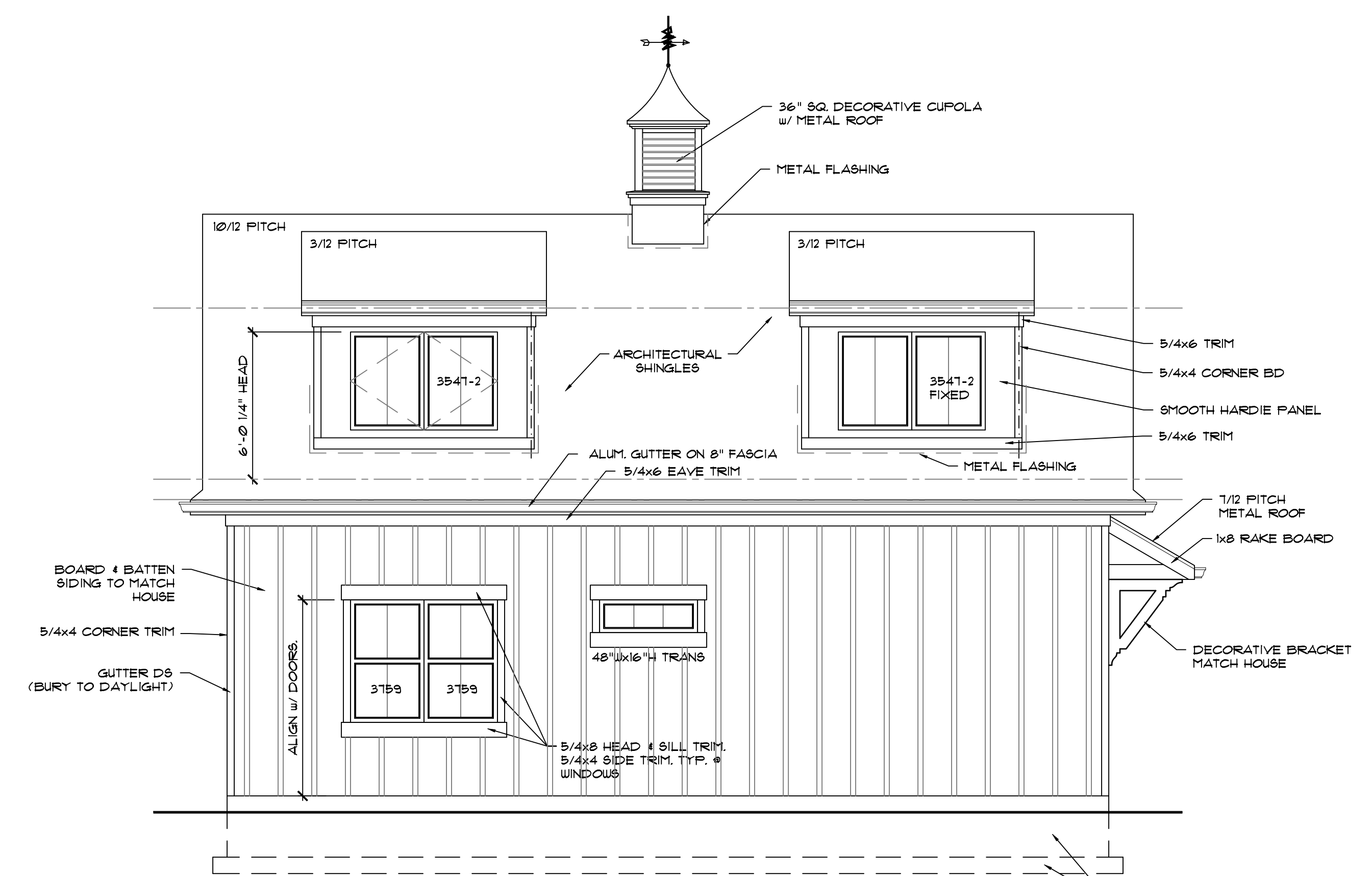
RIGHT SIDE ELEVATION

1/4" = 1'-0"



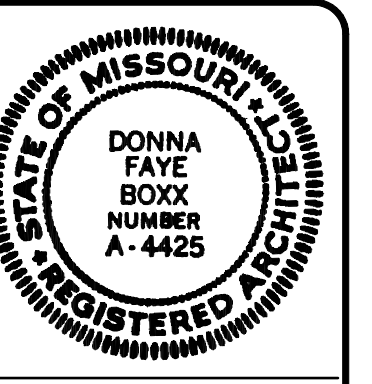
REAR ELEVATION

1/4" = 1'-0"



LEFT SIDE ELEVATION

1/4" = 1'-0"



Donna Faye Boxx - Architect
MO# A-4425

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DONNA F. BOXX, Architect, P.C.
Missouri State Certificate of Authority: 0006642

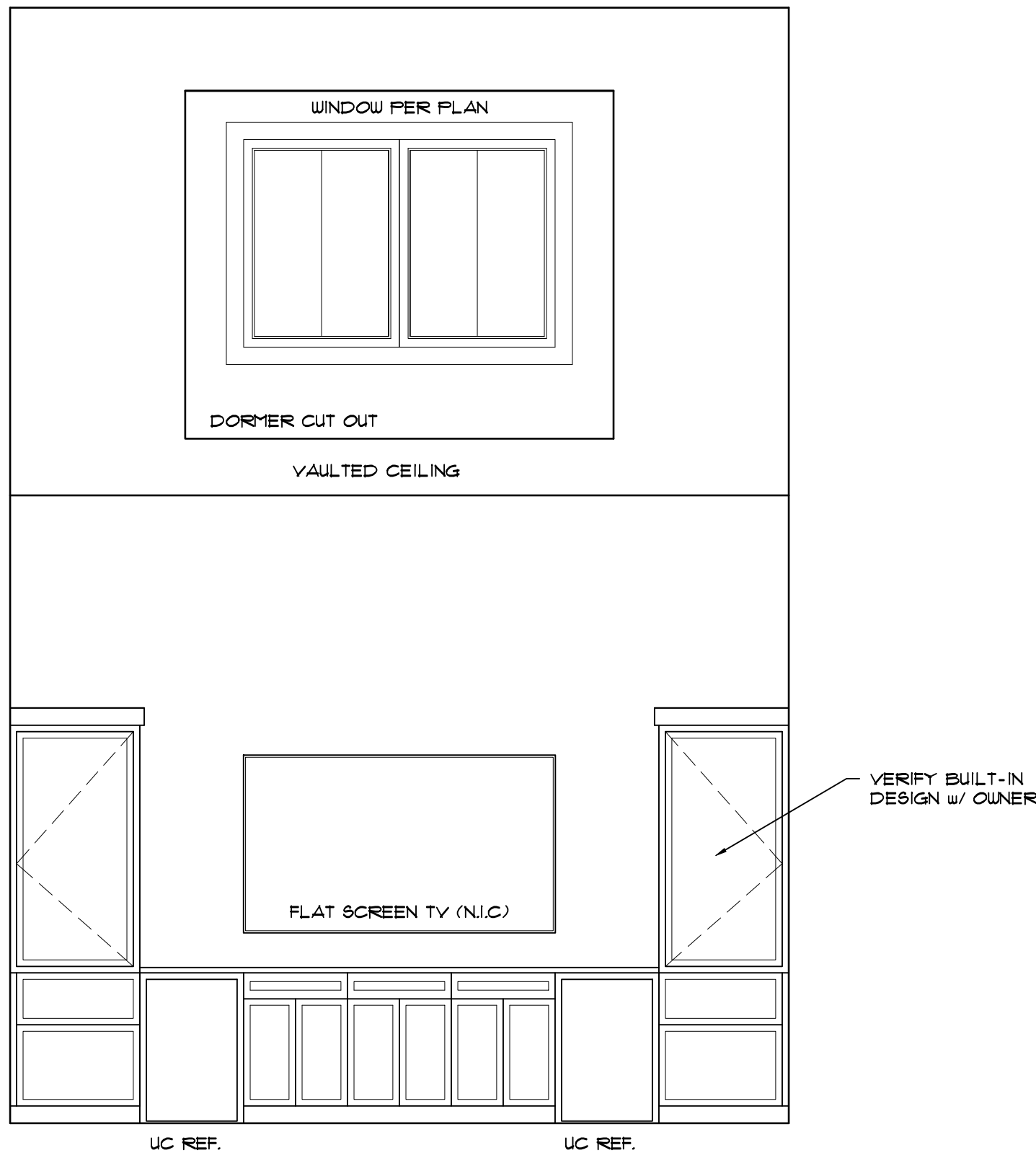
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GUEST HOUSE ELEVATIONS

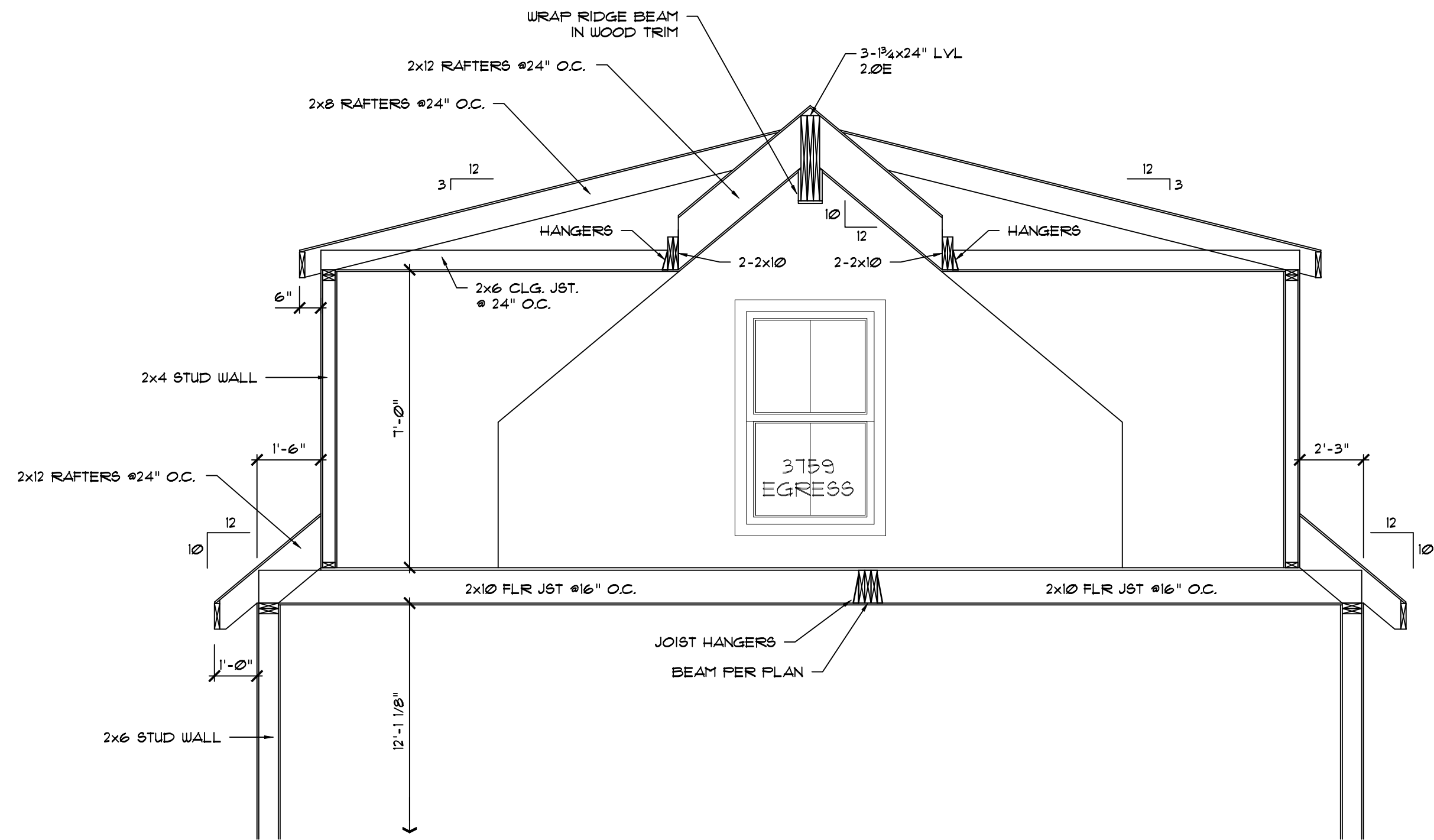
DATE	12-14-2020	JOB	2019-23
REV.			
REV.			
REV.			
SHEET			

A-3

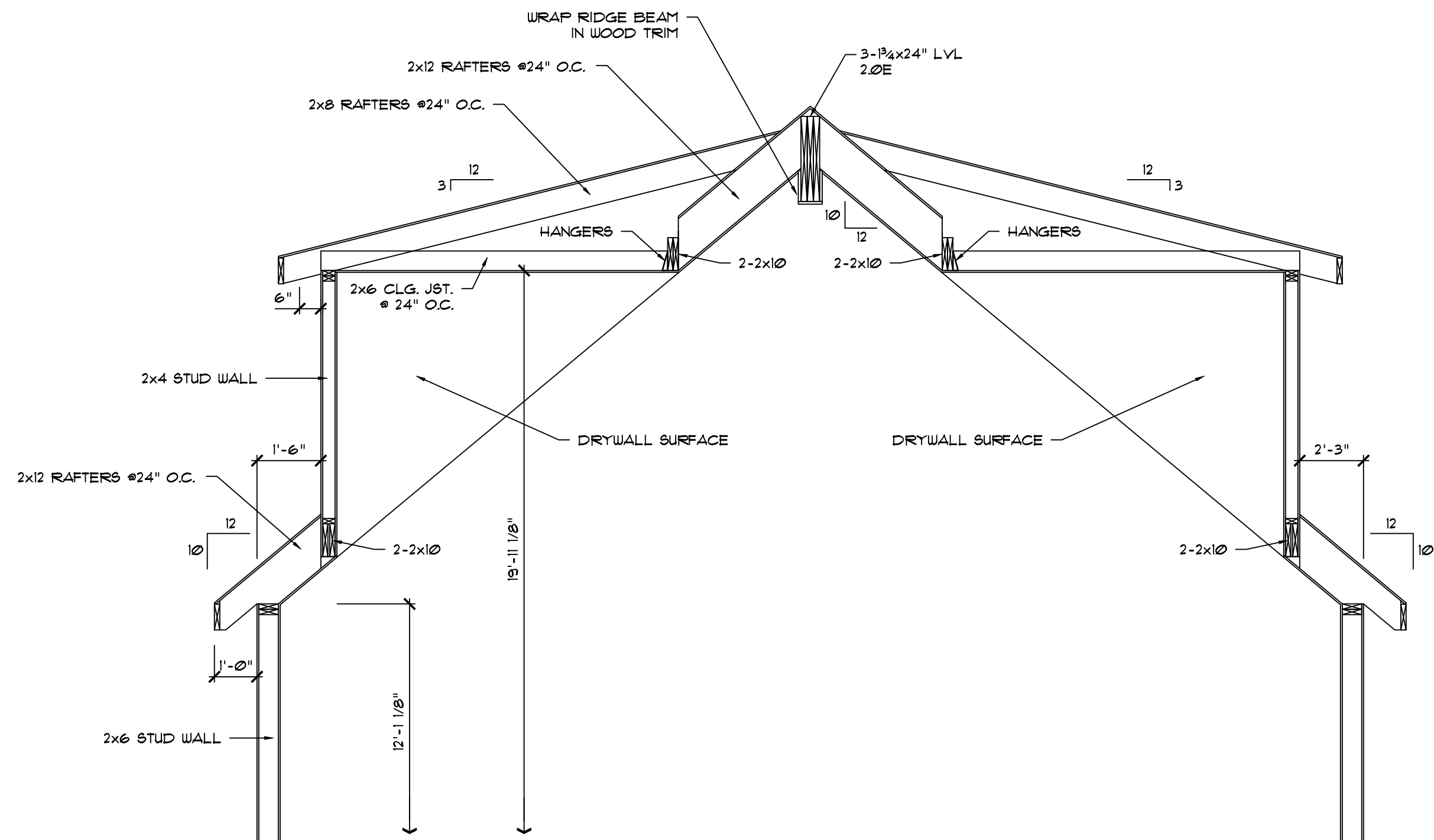
3 of 4 SHEETS



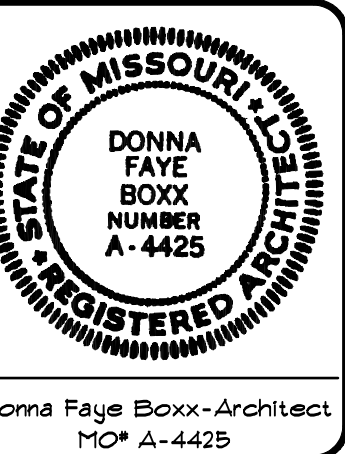
1
A-4 INTERIOR ELEVATION 3/8" = 1'-0"



1
A-4 BUILDING SECTION 3/8" = 1'-0"



3
A-4 BUILDING SECTION 3/8" = 1'-0"



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DONNA F. BOXX, Architect, P.C.
Missouri State Certificate of Authority: 0000642

PROPOSED GUEST HOUSE FOR:
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LOT 4 DENNY LANE COURT
LADUE, MISSOURI 63124

BUILDING SECTIONS
WALL SECTIONS

DATE 12-14-2020	JOB 2019-23
REV.	
REV.	
REV. SHEET	
A-4	
4	4 SHEETS

Location



Location



Materials Roof



Materials Roof



Material Walls



JamesHardie



Windows

10:23



Done

DENNY LANE UPDATED.pdf



SOLD BY:
Glenn Carroll Lumber/Saint Peters
137 Ewing Rd
Saint Peters, MO 63376-3976
Fax: 636-973-7047

SOLD TO:

QUOTE DATE:
1/29/2021

Abbreviated Quote Report - Customer Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
Kate and James Stone	Denny Lane	249023		

ORDER NOTES:

DELIVERY NOTES:

Item	Qty	Description	Location	Unit Price	Est. Price
100	3	Stationary	FRONT GARAGE	\$558.83	\$1,616.49

RO Size = 36 7/16" x 60 3/8" Unit Size = 35 15/16" x 59 7/8"

CXW15, Unit, 400 Series Casement, Installation Plunge, Black Exterior Frame, Black Exterior Sash/Panel, Pine w/Black - Painted Interior Frame, Pine w/Black - Painted Interior Sash/Panel, Stationary, Dual Pane Low-E4 Standard Series Argon F&I Freight Grilles-Between-the-Glass 1" Wide, 3" High, Specified Equal Light Pattern, Black, w/Black, 1" Grille Bar Weeping Interior Drywall Return Bead Pine/Black - Painted White Complete Unit Extension Jambos, Factory Applied

Unit # U-Factor SHGC
A1 - -

Comments:

Quote #: 249023 Print Date: 1/6/2021 Page 1 of 42

Abbreviated Quote Report - Customer Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
Kate and James Stone	Denny Lane	249023		

ORDER NOTES:

DELIVERY NOTES:

Item	Qty	Description	Location	Unit Price	Est. Price
200	1	Stationary	FRONT MUD ROOM	\$558.83	\$558.83

RO Size = 36 7/16" x 60 3/8" Unit Size = 35 15/16" x 59 7/8"

CXW15, Unit, 400 Series Casement, Installation Plunge, Black Exterior Frame, Black Exterior Sash/Panel, Pine w/Black - Painted Interior Frame, Pine w/Black - Painted Interior Sash/Panel, Stationary, Dual Pane Low-E4 Standard Series Argon F&I Freight Grilles-Between-the-Glass 1" Wide, 3" High, Specified Equal Light Pattern, Black, w/Black, 1" Grille Bar Weeping Interior Drywall Return Bead Pine/Black - Painted White Complete Unit Extension Jambos, Factory Applied

Unit # U-Factor SHGC
A1 - -

Comments:

Quote #: 249023 Print Date: 1/6/2021 Page 2 of 42

Abbreviated Quote Report - Customer Pricing



Doors



SOLD BY:
Great Central Lumber Saint Peters
137 Ecology Dr
Saint Peters, MD 63376-3976
Fax: 686-910-7547

SOLD TO:

QUOTE DATE
1/11/2021

Abbreviated Quote Report - Customer Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER FOM	TRADE ID
Kate and Jamison Stone	Denny Lane	268407		
ORDER NOTES:				
DELIVERY NOTES:				

Quote #: 268407

Print Date: 1/12/2021

Page 1 of 5

Abbreviated Quote Report - Customer Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID		
Kate and Jamison Stone	Denny Lane	268407				
ORDER NOTES:						
DELIVERY NOTES:						
	Item	Qty	Operation	Location	Unit Price	Est. Price
	100	1	Passive Left-Active Right	Entry	\$4,254.93	\$4,254.9
	RO Size = 72" x 96"		Unit Size = 71 1/4" x 95 1/2"			
	FWHID080, Unit, A Series Patio Doors 2 Panel-FWH, 6 9/16" Frame Depth, Factory Assembled, Black Exterior Frame, Black Exterior Sash/Panel, Pine w/Black - Painted Interior Frame, Pine w/Black - Painted Interior Sash/Panel, Bronze Appearance, Passive Left-Active Right, Dual Pane Low-E4 Tempered Argon Fill Full Divided Light (FDL) 1 Wide, 3 High, Specified Equal Light Pattern, Black, Pine w/Black, 1 1/8" Grille Bar, No Albany, Black, Black Panel Stop, Active Temporary Construction Trim Set Exterior Keyed Lock, Lock Cylinder Keyed Alike					
	Trim Set 1: FWHID Passive Left-Active Right Albany Black PN-9007553					
	Panel Stop 1: FWHID Black PN-9007627					
	Panel Stop 2: FWHID Black PN-9007627					
	Temporary Construction Trim Set 1: Active PN-9020356					
	Exterior Keyed Lock - Keyed Alike 1: FWHID RH Albany Black PN-9056134					
Unit #	U-Factor	SHGC	Comments:			
A1	0.31	0.18				